



City of Naples - Building Department

295 Riverside Circle | Naples, Florida 34102

Phone: (239) 213-5020

www.naplesgov.com

HISTORIC BUILDING ADDITION/ALTERATION PERMIT APPLICATION

Florida Building Codes, 7th Edition

Job Information: (See Regulations and Information on page 2 for more details.)

Permit Application #: _____

Tax/Folio#: _____ Legal Description: _____

Job Address: _____

Property Owner: _____

Mailing Address: _____

Contractor: _____ Email: _____

Est. Cost: \$ _____ Total Sq. Ft. of Working Area: _____ Permit Expiration Date: _____

SQ. FOOTAGE MUST REFLECT ENTIRE ROOM AREAS IN WHICH EACH TRADE WILL BE INVOLVED IN PROJECT.

Work Area / Trade:	Addition	Alteration	ROW Permit? <input type="checkbox"/> Yes <input type="checkbox"/> No	ROW sq. ft.: _____
Building square ft.:	_____	_____	Roof Type: _____ # of squares: _____	Identify type of Termite Protection to be used: _____
Electrical square ft.:	_____	_____		
Plumbing square ft.:	_____	_____		
Mechanical square ft.:	_____	_____		

Description of Work: _____

Check all items included with permit package (*Italicized items are REQUIRED with all applications*):

Two completely assembled sets of plans consisting of the following:

- | | |
|---|--------------------------------------|
| ___ <i>Separate 8.5x11 Detailed letter of Scope of Work</i> | ___ Electrical - w/load calculations |
| ___ <i>Architectural Floor Plans</i> | ___ Plumbing |
| ___ <i>Construction Site Management Form / Plan</i> | ___ Mechanical |
| ___ <i>Structural Drawings</i> | ___ Water Meter Sizing Chart |

Two copies of the following must also be included for additions:

- | | |
|---|------------------------------------|
| ___ <i>Survey - Elevation Certificate</i> | ___ <i>(2) Energy Calculations</i> |
| ___ <i>Truss Layouts & Design Loads</i> | ___ <i>Building Elevations</i> |
| ___ <i>Spatial Perception Drawings</i> | ___ Storm Water Drainage Plan |
| ___ <i>Site Plan w/Setbacks</i> | ___ DRB, PRPOA, & Other Approvals |

Lot / Building Data (Required for additions):

Lot width: _____ ft. Lot depth: _____ ft. Lot area: _____ SF Current Flood Zone: _____

Actual Setbacks (feet): Front: _____ Rear: _____ Left Side: _____ Right Side: _____

New Bldg. footprint: _____ SF New Bldg. height: _____ FT

New Gross square footage: _____ SF New Bldg. width: _____ FT

Max. Buildable area allowed: _____ SF New Bldg. depth: _____ FT

Zoning District: _____

Regulations and Information (*Italicized items are required with ALL applications*):

1. Required plan size is 24" x 36" maximum. Plans must be to scale with a minimum of 3/16"=1'.
2. A total floor plan must be submitted for any additions/alterations with work areas clouded.
3. All plans must include a "Square Footage Legend" on the title page. This information must be broken down by "AC" and "Non-AC" square footage, before and after proposed additions/ alterations.
4. Exterior windows and doors shall comply with FBC and Residential wind loads and impact protection. Opening pressures and Miami-Dade NOA or FL State Product Approvals are required.
5. Windows within sight of the beach will comply with Section 52-61(6) of the Code of Ordinances (turtle glass).
6. Owner-builders must sign an affidavit.

Electrical:

1. Electrical load calculations must be submitted with plans when electrical work exceeds 30 amps.
2. If the electrical service is equal to or greater than 600 amps, a Florida Registered Engineer must sign the plans with a raised seal.
3. A temporary power inspection will allow the power to be turned on, with the understanding that the areas under construction will not be occupied until a Certificate of Occupancy or a Certificate of Completion is issued.

Flood & DEP:

1. If this site is located in an AE, AH or VE Zone; Please provide the SHPO document submittal and approval letter.
2. Additions will require a Final Elevation Certificate.
3. Projects west of the Coastal Construction Control Line (CCCL) may require prior approval from DEP and the City of Naples Natural Resource Manager.
4. Provide one of the Hazard Mitigation efforts listed in City Ordinance 16-116

Additions:

1. Site plans with proposed addition within setbacks are required. Driveway width and setbacks must be noted on the site plan when a new driveway is to be installed. Check to see if a driveway permit is to be acquired from the City of Naples, Collier County, or the State of Florida Dept. of Transportation (DOT).
2. Max building area / lot coverage must be shown for any additions that increase the building footprint.
3. NO construction activity is allowed after slab is poured until a Spot Survey has been SUBMITTED to and APPROVED by the City of Naples Building Department.
4. All accessory structures must be permitted separately. Including but not limited to fences, walls, pools, screen enclosures and generators. Note: The planting of trees and shrubs, Driveways, and all other work in the City Right Of Way (ROW) must first be permitted and approved by the Street and Stormwater Department ROW Permit.

General:

1. If this site is located in the Coastal Building Zone, a Design Professional must sign the structural plans with a raised seal.
2. Check with the respective property owners association for deed restrictions.
3. Other supporting documents, such as variances, conditional use permits; and/or DRB approvals and GDSP's must accompany your plans.

Fees:

1. Fee for this permit is \$0.50 per square foot of proposed work area for the building permit, or a minimum fee of \$150.00. Other required permits (electrical, plumbing, mechanical etc.) will be charged as per City Fee Ordinance.
2. A \$25.00 zoning fee will be charged if applicable.
3. A plan review fee, equal to 15% of permit fee, will be due at time of application. If plan review fee is less than \$30.00, it will be collected at time permit is issued, or upon withdrawal. The plan review fee is not refundable, nor is it credited to any other fee.
4. It is the contractor's responsibility to contact the Building Department when all final inspections are complete to obtain a Certificate of Occupancy or Certificate of Completion.

Prime Contractor Information:

Contractor: _____ **State Cert/CC Comp Card #:** _____

Job Representative: _____ **Phone #:** _____

Email Address: _____

Address: _____
City State Zip

Architect/Engineer: _____ **Phone #:** _____

Address: _____
City State Zip

Sub-Contractor Information:

Electrical: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Low Voltage: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Mechanical: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Plumbing: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Roofing: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Fire Alarm: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Misc.: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Recorded Notice of Commencement must be posted if the project valuation exceeds \$2,500.00

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Contractor's Affidavit:

I certify that all the foregoing information is accurate and that all work must be done in compliance with all applicable laws regulating construction and zoning. I understand **THERE WILL BE A FINAL INSPECTION** of the work permitted herein. Compliance will be strictly enforced. **No work whatsoever will commence until the building permit has been issued.**

- The permit fee will be doubled if work is started without an approved permit.

Print Name of Qualifier

Signature of Qualifier

State of Florida

County of _____

The foregoing instrument was acknowledged before me by means of ____physical presence or ____online notarization

this ____day of _____, 20____ by _____(name of person)

who is ____personally know to me, or ____who has produced _____ as identification.

(Seal)

Signature, Notary Public - State of Florida

Printed, Typed, or Stamped Name of Notary



HISTORIC PRESERVATION & REHABILITATION NEW CONSTRUCTION / ADDITION DEMOLITION AND PILE DRIVING CONTRACTORS

The Naples Code of Ordinances, Section 16-291 Construction Site Management, requires contractors and owner-builders involved in the construction of structures to notify (by mail) the owner of properties located within 100 feet of the outer limits of the subject property. Such notification shall take place at least 14 days prior to construction and shall include the contractors or owner-builder phone number, the phone number of the Building and Zoning after-hours Construction Site Inspector, and the timetable for construction activities.

The contractor or owner-builder must offer all adjacent properties an opportunity to have their properties inspected by an engineer/inspector prior to demolition and/or pile driving. The intent of this inspection is to create a record of conditions prior to work occurring. The contractor or owner-builder must also offer all adjacent properties an opportunity to have on-site seismic monitoring during demolition and/or pile driving. Adjacent properties typically share or touch a common point. (Properties separated by an alley are considered adjacent-properties located across streets and canals are not considered adjacent).

As per Section 16-291, a permit for construction, demolition of an existing structure (tear down) and/or to drive piles (pile driving) will be issued until the contractor of record signs and attests to the "Demo, Pile Driving & New Construction Notification & Offer" form attached to the respective permit application. The contractor must also attach a copy of the letter(s) sent, a list of property owners with addresses, along with a receipt or other proof of mailing.

The contractor of record or the owner-builder shall be the party responsible to insure that the notification and offers have been made and that reasonable effort to comply with the requirements of this ordinance has occurred. Records of these offers shall be maintained by the contractor or owner-builder and be made available to the Building and Zoning Division upon request.



HISTORIC PRESERVATION & REHABILITATION DEMOLITION, PILE DRIVING, & NEW CONSTRUCTION / ADDITION NOTIFICATION & OFFER FORM

Permit Application #: _____

Subject Property Address: _____

Please check all that apply and select N/A for items not applicable:

___ or ☐ N/A: I have notified all property owners within 100 feet of the outer limits of the subject property at least 14 days prior to commencement of construction, demolition and/or pile driving or similar activities. This notification includes: a phone number for the contractor or owner-builder, the phone number of the Building and Zoning after-hours Construction Site Inspector, and the timetable for construction activities - Required

___ or ☐ N/A: I have made an offer to all adjacent property owners to have an engineer/qualified inspector conduct a pre-demolition or pre-pile driving inspection prior to commencing any of the referenced or similar activities.

___ or ☐ N/A: I have made an offer to all adjacent property owners, to have on-site seismic monitoring during demolition or pile driving.

___ or ☐ N/A: I have attached a copy of the letter(s) sent, a list of property owners with address, and a receipt or other proof of mailing. - Required

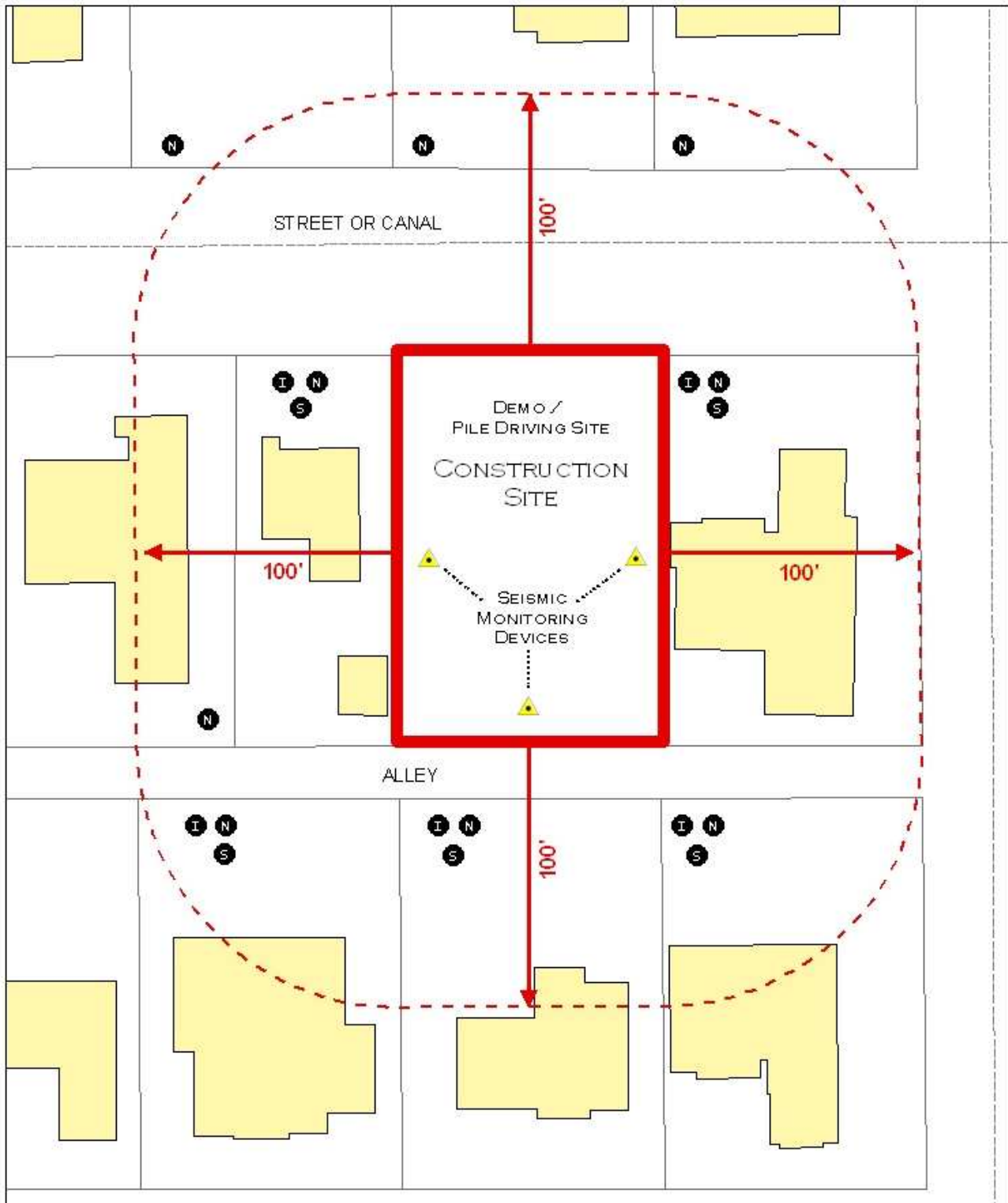
As per the Naples Code of Ordinances, Section 16-291 Construction Site Management, I am attesting to the fact that the above notifications and offers have been made in accordance with the referenced code.

I certify that the above information is true and correct to the best of my knowledge.

Printed Name of Contractor or Owner-Builder

Signature of Contractor or Owner-Builder

Date



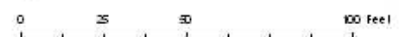
GIS DIVISION

City of Naples
295 Riverside Circle
Naples, Florida 34102
Ord. 16-291

The City of Naples assumes no liability for errors or omissions in the accuracy of this map.

LEGEND

- N** Notification Required
- I** Inspection Offer Required
- S** Seismic Monitoring Offer Required





CITY OF NAPLES
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Naples, FL 34102
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CONSTRUCTION SITE MANAGEMENT FORM

Two copies of a site plan showing the locations of all construction materials must be submitted at time of permit application. **Two** copies of this form and all required plans must be submitted with the building permit application.

Permit Application #: _____

Job Address: _____

Property Owner: _____ 24-Hour Contact Number: _____

Contractor: _____

Type of Work:

☐ Demolition ☐ New Construction ☐ Addition ☐ Alteration

PLEASE NOTE: UPDATES TO THIS FORM ARE IN **BOLD FONT**

Select Applicable Numbers:

- ___ 1. Basic topographical elevation indicating direction of surface water runoff to protect erosion of soil and water runoff with utility and drainage plan. Show proposed elevations.
- ___ 2. Construction fence - **Include location and dimensions of fence.**
- ___ 3. Silt fence
- ___ 4. **Indicate number of parking spaces** and show stabilized area for parking and access, including **written parking plan for final phase of project.**
- ___ 5. **(2) Signs – City of Naples Construction Site Sign & Job Address Sign.**
- ___ 6. Temporary trailer - Construction trailers 16' x 8' or smaller (on wheels) do NOT require a permit. All other trailers must be submitted on a Temporary Use Construction Permit.
- ___ 7. Chemical toilet
- ___ 8. Dumpster
- ___ 9. Material storage and staging area
- ___ 10. **Material delivery access point**
- ___ 11. Off-site parking
- ___ 12. Site maintenance and cleanliness plan
- ___ 13. Plan for weather emergencies
- ___ 14. **I have read and will comply with City Ordinance Chapter 16 Section 16-291 Construction Site Management.**

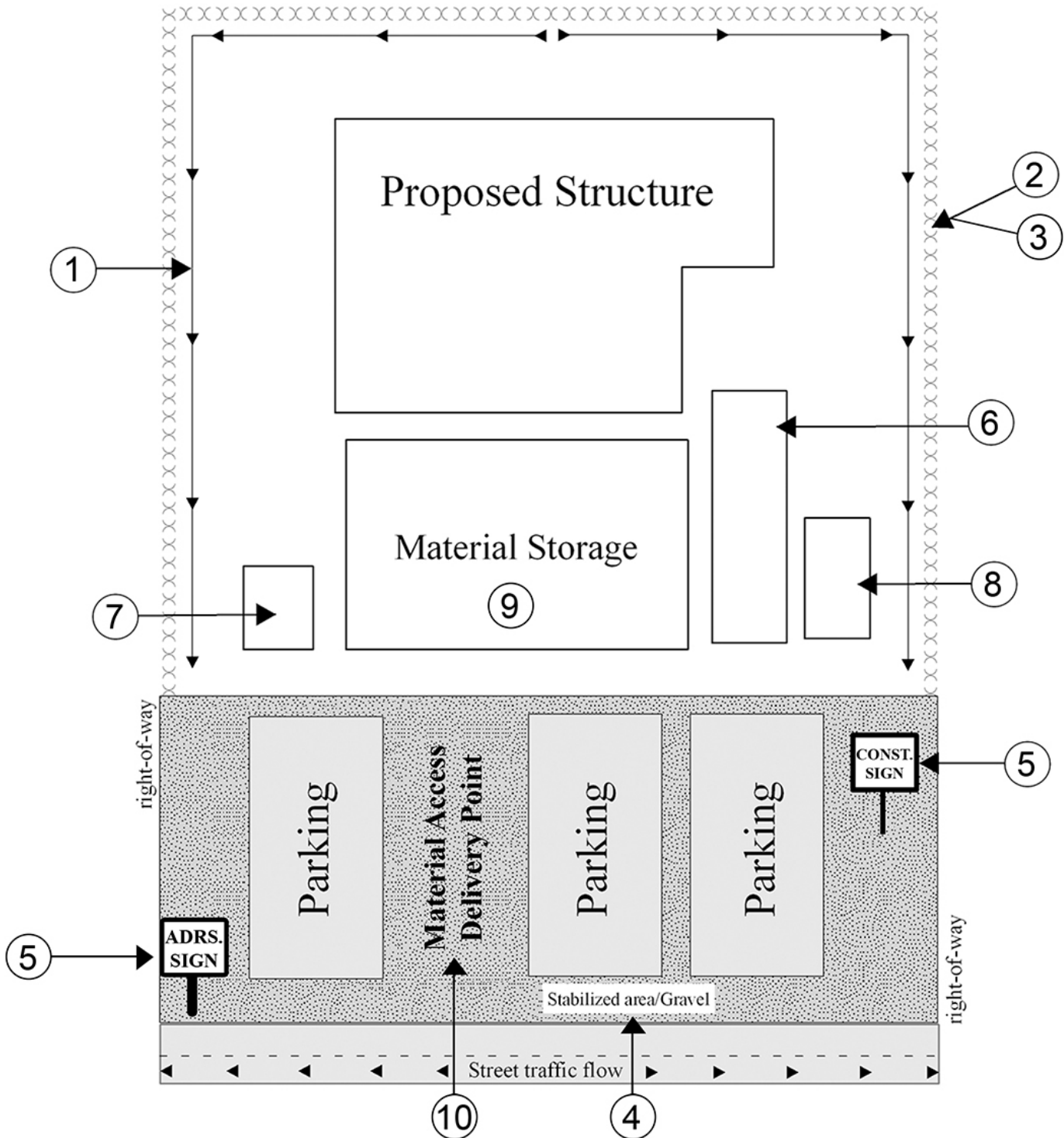
Additional Comments:

Contractor's
Signature: _____

Building Division Approval: _____

Please Note: Plan must be sized to accommodate the use of readable scale.

Construction Site Management Plan (Sample Plan)



- | | |
|---|-------------------------------------|
| ① Surface Water Run Off Direction | ⑥ Construction Trailer |
| ② 6ft Construction Fence | ⑦ Chemical Toilet |
| ③ Silt Fence | ⑧ Dumpster |
| ④ Stabilized Area For Parking | ⑨ Material Storage and Staging Area |
| ⑤ City of Naples Construction Sign & Address Sign | ⑩ Material Access Delivery Point |