CITY OF NAPLES PURCHASING DIVISION CITY HALL, 735 8TH STREET SOUTH NAPLES, FLORIDA 34102

PH: 239-213-7100 FX: 239-213-7105

ADDENDUM NUMBER 1

NOTIFICATION DATE:	BID TITLE:	BID NUMBER:	BID OPENING DATE & TIME:
05/02/18	Naples Pier Restoration	18-017	05/09/2018 2:00PM

THE FOLLOWING INFORMATION IS HEREBY INCORPORATED INTO, AND MADE AN OFFICIAL PART OF THE ABOVE REFERENCED BID.

The following clarifications are issued for the referenced solicitation:

The following is an answer to a written submitted question:

1) Plan sheet G101, General Notes for Utility Testing states a price shall be provided to restore electrical conduit, water service and fire suppression system to operable conditions. Please confirm that the bid price is to include only the cost to test these systems and pricing to repair to operable conditions would be provided after testing is completed. Please confirm that the cost to repair these systems is not to be included in the bid price.

ANSWERS: Confirmed bid price is for inspection/testing of electrical components and water line.

2) . Please clarify that the screen cover in General Notes Item 5. is referring to a wind screen.

ANSWERS: Yes, it is referring to a windscreen.

3) Is there a budget value or engineer's estimate for this project?

ANSWERS: \$500,000

4) Are there bathroom or a sink that will need to be tested or is only the water line being tested?

ANSWERS: Water lines. No sink or bathroom.

5) In locations where new stringers are to be installed, is it the Owner's intent to reuse the existing L brackets with new bolts or are the L brackets to be removed and replaced with new brackets and new bolts on each side?

ANSWERS: When splice boards and thru bolts/nuts (sheet C300, detail 1, 2, 3 & 4) are removed to replace a damaged stringer, all other components can be reused if undamaged. Any component determined in the field to be damaged will be assessed by the EOR and City. Corner and perimeter brackets (sheet 300, detail 5 &6) will be new brackets but again the bolts/nuts can be reused if undamaged. L brackets hold the stringer to the fascia stringer on the pavilion, any removed to replace a stringer shall be reused with new screws as stated in addendum #1.

6) Is any of the plumbing pipe being tested located under the dock? What is the size of the pipe?

ANSWERS: 2" O.D. and is located in the northern trough between stringers.

The following page serves as clarifications to the specifications The Revised Bid form (attached) replaces the original bid form.

THE REVISED BID FORM MUST BE USED BY BIDDERS OR THE BID WILL BE REJECTED:

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3584 Exchange Avenue ● Naples, Florida 34104-3732 ● 239-643-0166 ● Fax (239) 634-6632 ● tuna@turrell-associates.com

Bid Addendum and Clarification # 1

Date: April 25, 2018

THA Project Name / No. Naples Pier Restoration / 1550.1

Property/Project Location:

25 12th Avenue S. Naples, FL 34102

This addendum addresses errors and points of clarification identified during the pre bid meeting. A revised schedule of values and drawing set are attached to this addendum.

- 1. Work Hours Work hours for the project are Monday through Saturday 7AM to 6PM, please bid accordingly.
- 2. Pier Closure The City will allow for a complete closure of the Pier for a maximum of 60 calendar days to complete this work. If the work can be completed in less time, please state the timeframe in your bid.
- 3. Decking options The City would like to see all decking options, decking options include;
 - New 5/4"x6" IPE boards per the Repair Schedule from Bent 38 out (Base Bid)
 - All New 5/4"x6" IPE boards from Bent 38 out
 - All New 2"x6" IPE boards from Bent 38 out
 - New (7) 5/4"x6" IPE boards over each bent inside of Bent 38
 - All New 5/4"x6" IPE boards from Bent 38 in
 - All New 2"x6" IPE boards from Bent 38 in
- 4. Utility inspection The concessions are operating normally so it is assumed that utilities up to that point are undamaged. The inspection should be limited to the electrical and water from Bent 38 out.
- 5. Railing New railing is only to be installed where specified in the drawings. If railing needs to be removed to complete any repair work then it should be done with care so that those sections can be reused and reinstalled.
- 6. Pressure Washing Contractor scope shall include turning over the entire Pier back over to the city clean of any construction debris or animal waste.
- 7. Spare Stringers In the event that additional stringers to be replaced are identified, the City would like the contractor to have 5 extra stringers on site to eliminate delays. A price to furnish and install spare stringers has been added to the schedule of values.
- 8. 2" Decking If 2" decking is chosen for any part of the pier, contractor shall fit decking up to the buildings but under the buildings is not required. In some locations a supplemental stringer/framing may need to be attached to existing framing.

- 9. Pavilion Brackets The L brackets connecting the stringers to the fascia stringer at the pavilion area are to be removed and reused as need per the stringer replacement. Any fasteners removed shall be replaced with new 3.5" 316 SS #12 bugle head square drive fastener.
- 10. Grout Pads Grout pads should be a minimum of 12"x12" and centered on the stringer butt joint.
- 11. SOV discrepancy The original schedule of values option 1 states "line 3" in two locations, it should say "line 2". This discrepancy has been removed in the revised schedule of value.
- 12. SOV discrepancy The original schedule of values has a quantity of 4 grout pads, this has been updated to 6, which matches the count per the drawings.
- 13. Drawing err discrepancy Sheet C300, detail 6 plan view shows (2) thru holes, this has been corrected and clouded to show one centered thru hole.
- 14. Drawing discrepancy Sheet C301, railing details call out a 5/8"x8" rail cap and rail support, this has been corrected and clouded to show a 5/4"x8" rail cap and a 2"x4" rail support. Revised drawings are attached to this addendum.

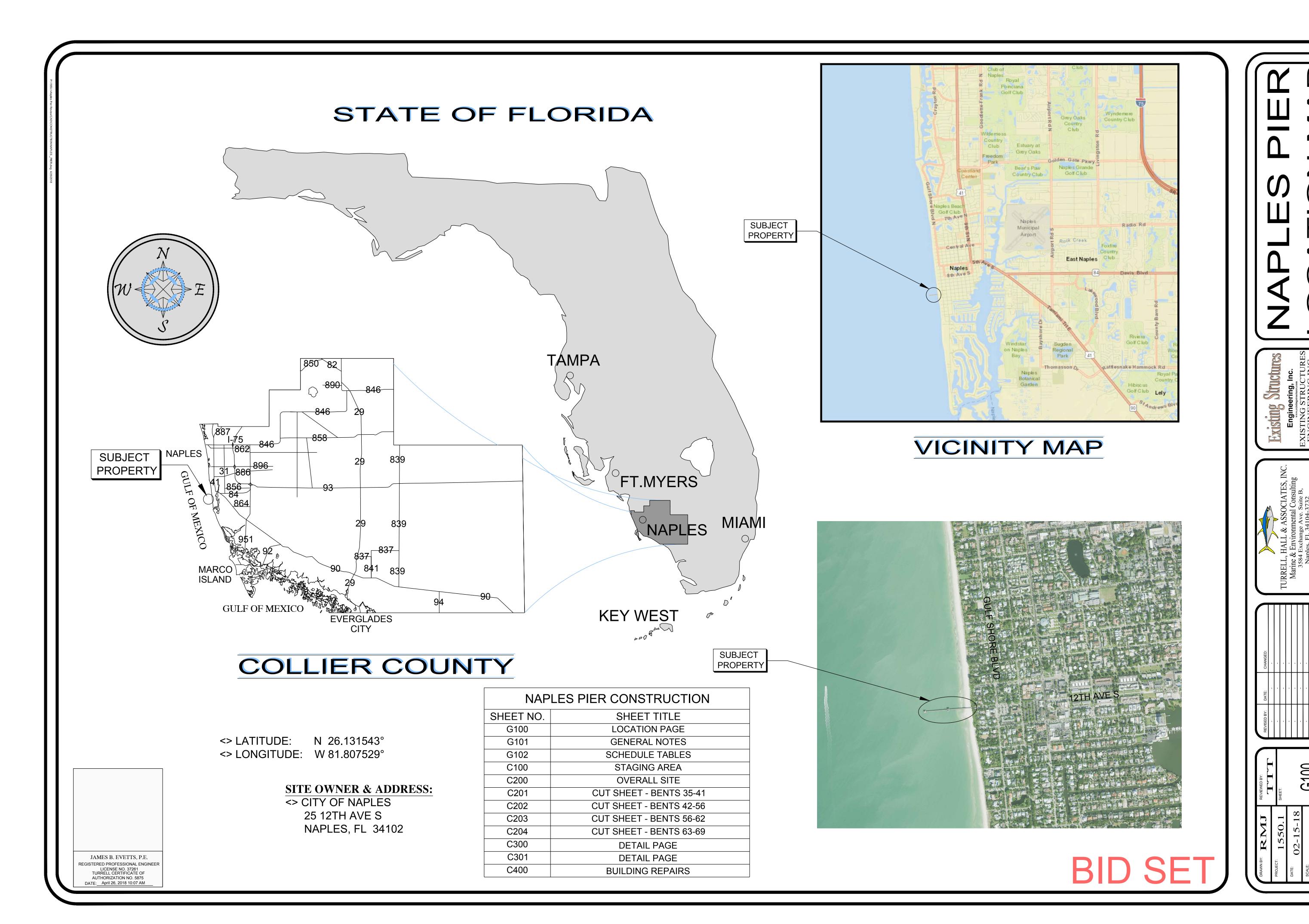
The opening date & time for the bids remain 05/09/2018 at 2:00 PM

Note: Please initial in the space provided below and supply with your bid submittal as proof of receipt of this addendum.

Name of Company:	
Date Received:	
Received by (Print name and sign initials): _	

	City of Naples - City Pier	THA # 1550.1						
]	BASE BID - BASE PIER REPAIR							
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL COST			
1	Mobilization/Demobilization	EA	2		\$ -			
2	New 5/4"x6" IPE per Repair Schedule - Bent 38 out	SF	2,268		\$ -			
3	Railing Replacement	LF	63		\$ -			
4	Stringer Replacement	EA	27		\$			
5	Remove Stinger Bolts	EA	216		\$			
6	Remove Remaining Exposed Splice Boards	EA	12		\$			
7	New Stainless Steel Brackets	EA	16		\$ -			
8	Grout Pads	EA	6		\$ -			
9	Building Repairs	LS	1		\$			
10	Utility Testing	LS	1		\$ -			
11	Asbuilt Survey	LS	1		\$			
12	BASE BID TOTAL		1	TOTAL COST	\$ -			

OPTIONS								
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL COST	ADDITIONAL DAYS		
A	All New 5/4" x 6" Decking - Bent 38 out (substitute Line 2)	SF	6,838		\$ -			
В	All New 2" x 6" Decking - Bent 38 out (substitute Line 2)	SF	6,838		\$ -			
С	New (7) 5/4"x6" IPE over each bent - Inside of Bent 38	EA	259		\$ -			
D	All New 5/4" x 6" Decking - Inside of Bent 38	SF	6,838		\$ -			
Е	All New 2" x 6" Decking - Inside of Bent 38	SF	6,838		\$ -			
F	Bolt & Splice Board Removal - Inside of Bent 38	EA	37		\$ -			
G	Furnish Spare Stringers	EA	5		\$ -			
Н	Install Spare Stringers	EA	5		\$ -			
I	New 5/4" X 6" X 12 ft IPE Deck Board Installed	EA	1		\$ -			
J	New 5/4" x 6" x 12ft x 15 ft Section of Pier IPE Decking	SF	180		\$ -			



SCOPE OF WORK

HURRICANE IRMA CAME ASHORE NAPLES, FL ON SEPTEMBER 10TH, 2017 CAUSING DAMAGE TO THE RECENTLY RESTORED NAPLES CITY PIER (HEREON REFERRED TO AS THE "PIER"). THE DAMAGE WAS CONCENTRATED AT THE WESTERN EDGE OF THE PIER AND CONTINUED EAST ENDING JUST BEFORE THE CONCESSION AREA.

THE CONCRETE PILINGS, CONCRETE BENTS AND ORIGINAL OVERWATER STRUCTURES WERE BUILT IN THE MID 1990'S BY KELLY BROTHERS INC. AND THE RESTORATION PROJECT WAS COMPLETED IN 2015 BY MANHATTAN CONSTRUCTION GROUP. THE NEW WOOD STRUCTURE CONSISTS OF IPE HANDRAILS, 5/4" X 6" IPE DECKING, 4X10 ROUGH CUT STRINGERS AFFIXED TO THE CONCRETE BENTS WITH STAINLESS STEEL ANGLE BRACKETS AND STAINLESS STEEL FASTENERS. THE 2015 SCOPE OF WORK INCLUDED NEW ELECTRIC, SITE LIGHTING, WATER, FIRE, SEWER UPLAND BATHROOMS AND RESTORATION OF THE OVERWATER BUILDINGS.

THE DAMAGE TO THE STRUCTURE CONSISTS OF BROKEN RAILING, SPLIT STRINGERS, SPLIT DECK BOARDS AND DAMAGE TO THE NEW SIDING ON THE OVERWATER BUILDINGS. NO TESTING HAS BEEN COMPLETED ON THE ELECTRIC OR PLUMBING TO DATE BUT DAMAGE HAS BEEN OBSERVED TO THE CONDUITS AND SUPPORT BRACKETS JUSTIFYING FURTHER ANALYSIS TO DETERMINE THE EXTENT OF ANY REPAIRS.

TURRELL, HALL & ASSOCIATES, INC. AND EXISTING STRUCTURES INC. HAVE TEAMED UP TO DESIGN THE REPAIRS THESE REPAIRS INCLUDE THE REPLACEMENT OF THE DAMAGED HANDRAILING, DECKING, STRINGERS, MODIFICATIONS TO THE EXISTING STAINLESS STEEL BRACKET FASTENERS, REPAIRS TO THE BUILDING AND UTILITY TESTING.

GENERAL NOTES

THESE REPAIRS ARE DESIGNED IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE.

DESIGN CRITERIA: THESE REPAIRS ARE DESIGNED TO THE FOLLOWING STRENGTH AND DEFLECTION CRITERIA

- PIER: 100PSF LIVE LOAD
- ULTIMATE WIND SPEED: 170MPH
- NOMINAL WIND SPEED: 132MPH

EXPOSURE: D

RISK CATEGORY: II

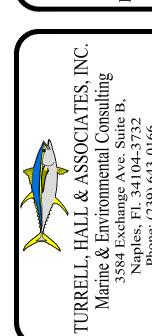
TECHNICAL SPECIFICATIONS

- 1. ENVIRONMENTAL / PERMITS / SIGNAGE: THE PURPOSE OF THIS SPECIFICATION (ENVIRONMENTAL PROTECTION) IS DEFINED AS THE RETENTION OF THE ENVIRONMENT IN ITS NATURAL STATE TO THE GREATEST POSSIBLE EXTENT DURING CONSTRUCTION. ENVIRONMENTAL CONSIDERATIONS ARE AIR, WATER, LAND, AND INVOLVE WASTE MANAGEMENT, NOISE, AND OTHER POLLUTANTS. DURING CONSTRUCTION THE CONTRACTOR AND SUB-CONTRACTORS SHALL OBSERVE ALL RULES AND CONDITIONS DESCRIBED IN ALL APPLICABLE PERMITS. CONTRACTOR SHALL DISPLAY TEMPORARY MANATEE SIGNS, INSTRUCT WORKERS TO THE REQUIRED CONDITIONS OF OPERATING VESSELS IN A MANATEE ZONE AND INSTRUCT WORKERS TO THE REQUIRED CONDITIONS OF CONSTRUCTION ACTIVITIES IN SEA TURTLE NESTING AREAS.
- 2. CONSTRUCTION SPECFICATIONS / DRAWINGS: ALL WORK SHALL BE IN ACCORDANCE WITH DRAWINGS, PLANS, AND SPECIFICATIONS PROVIDED BY TURRELL, HALL & ASSOCIATES, INC. AND EXISTING STRUCTURES, INC. WHICH SHALL BE A PART OF THIS CONTRACT.
- . SUBMITALS: EACH SUBMITTAL SHALL BE SENT FROM THE CONTRACTOR TO THE ENGINEER. THE CONTRACTOR SHALL BE ADVISED TO COORDINATE WITH OTHERS AND DELIVER SUBMITTALS IN A TIMELY MANNER TO ENSURE THAT WORK IS NOT DELAYED AND THIS SHALL BE FIGURED INTO THE CONTRACTOR'S SCHEDULE BEFORE CONSTRUCTION BEGINS. ENGINEER IS NOT RESPONSIBLE FOR DELAY IN WORK DUE TO SUBMITTAL APPROVAL. ENGINEER REQUIRES TEN (10) BUSINESS DAYS FROM DATE OF STAMPED RECEIPT OF THE RECEIVED SUBMITTALS TO REVIEW SUBMITTALS PLUS ANY TIME REQUIRED FOR DELIVERY BY MAIL TO CONTRACTOR. CONTRACTOR MAY PICK UP SUBMITTALS FROM ENGINEER'S OFFICE TO AVOID DELIVERY TIME DELAY.
- 4. SAFETY: CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- 5. USE OF PREMISES: CONTRACTOR SHALL CONFINE ALL CONSTRUCTION AND STORAGE OF MATERIALS TO MUTUALLY AGREED UPON STAGING AREAS AND SHALL INSTALL CHAIN LINK FENCE, WITH A SCREEN COVER, TO PREVENT ACCESS TO STAGING AREA AND ALL WORK AREAS BY UNAUTHORIZED PERSONNEL. THE AREA MAY BE SHARED WITH OTHER PUBLIC OR PRIVATE PARTIES AND COORDINATION / COOPERATION IS REQUIRED. DEBRIS AND DISCARD WILL BE CLEARED DAILY IN WORK AND STORAGE AREAS. CONTRACTOR WILL PROVIDE CONTAINER / TRUCK FOR DISPOSAL AND CLEANING OF WORK AREA IF NECESSARY. THE PERMITTEE/OWNER HAS NO MEANS FOR DISPOSAL OF DEBRIS. CONTRACTOR IS SOLELY RESPONSIBLE FOR DISPOSAL OF DEBRIS AND REFUSE. CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE LAYDOWN YARD DURING ALL PHASES OF CONSTRUCTION. ALL SIDEWALKS ON SITE THAT HAVE TO BE CROSSED OVER WITH EQUIPMENT SHALL BE COVERED WITH A PROTECTIVE COVER OF DIRT, SAND, AND / OR PLYWOOD INCLUDING THE LOADING AND UNLOADING AREA IN THE STAGING. THE PUBLIC BEACH ACCESS TO THE SOUTH OF THE STAGING AREA WILL REMAIN OPEN DURING THE COURSE OF CONSTRUCTION. THE RESTROOMS AND SHOWERS WILL BE OFF LIMITS TO THE PUBLIC.
- . CLEAN UP AND PROTECTIONS: ANY EXISTING SURFACE OR SUBSURFACE IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO SIDEWALKS, DRIVEWAYS, SEAWALLS, PIPES, UTILITIES, FOOTINGS, STRUCTURES, GRASS, TREES, AND SHRUBBERY, NOT INDICATED IN THE CONTRACT DOCUMENTS TO BE REMOVED OR ALTERED, SHALL BE PROTECTED BY CONTRACTOR FROM DAMAGE DURING THE PROJECT CONSTRUCTION PERIOD. ANY SUCH IMPROVEMENTS SO DAMAGED, SHALL BE RESTORED BY CONTRACTOR TO THE CONDITION EQUAL TO THAT EXISTING AT THE TIME OF CONTRACTOR'S COMMENCEMENT OF THE WORK AT CONTRACTOR'S COST.

- 7. INCLEMENT WEATHER PREPAREDNESS / HURRICANE PLAN: PRIOR TO COMMENCEMENT OF WORK, 12. RAILING: CONTRACTOR MUST PROVIDE WEATHER PREPAREDNESS PLAN IN WRITING TO THE OWNER SHOULD UNFAVORABLE WEATHER PATTERNS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR AND PERMITTEE /OWNER SHALL MUTUALLY AGREE UPON A PLAN TO SECURE THE SITE AND/OR MATERIALS. NO REIMBURSEMENT OR ADDITIONAL COST WILL BE APPLIED TO PERMITTEE/OWNER FOR CARRYING OUT THE PLAN. THE CONTRACTOR SHALL NOT BE ENTITLED TO, AND OWNER SHALL NOT BE RESPONSIBLE FOR, ANY CLAIM FOR ADDITIONAL COMPENSATION AS A RESULT OF CONTRACTOR'S COMPLIANCE WITH THE WEATHER PREPAREDNESS PLAN.
- 8. MOBILIZATION / DEMOBILIZATION
- 8.1. CONTRACTOR SHALL INCLUDE THE COST FOR MOBILIZING AND DEMOBILIZING ANY AND ALL EQUIPMENT REQUIRED TO COMPLETE THE SCOPE OF WORK.
- 8.2. ANY SPECIALTY EQUIPMENT REQUIRED TO COMPLETE ANY PORTION OF THE PROJECT SHALL BE INCLUDED IN THE BID PROPOSAL.
- 8.3. CONTRACTOR MAY BILL FOR THEIR MOBILIZATION UPON THEIR ARRIVAL TO THE SITE AND THE ERECTION OF THE TEMPORARY CONSTRUCTION FENCE.
- 8.4. CONTRACTOR MAY BILL FOR THEIR DEMOBILIZATION UPON THE COMPLETION OF THE PROJECT WITH THEIR 100% BILL THAT WILL STILL INCLUDE THE 10% RETAINAGE WITHHELD UNTIL ALL TERMS OF THE 14. OVERWATER BUILDING SPECIFICATIONS CONTRACT ARE SATISFIED.
- 9. DEMOLITION:
- 9.1. DEBRIS FROM DEMOLITION AND ITEMS INDICATED TO BE REMOVED SHALL BE REMOVED FROM THE OWNER'S PROPERTY AND PROPERLY DISPOSED OF BY THE CONTRACTOR IN A PERMITTED SANITARY LANDFILL, AS IS APPROPRIATE FOR THE MATERIAL BEING REMOVED.
- 9.2. THE CONTRACTOR SHALL IMMEDIATELY REMOVE AND PROPERLY DISPOSE OF ANY DEBRIS THAT ENTERS THE WATER IN OR OUTSIDE OF THE CONSTRUCTION AREA DURING THE DEMOLITION OR CONSTRUCTION OF THE INDICATED STRUCTURES.
- 9.3. SITE WILL BE CLEANED DAILY OF DEBRIS.
- 9.4. PROPER ELECTRIC AND WATER DISCONNECTS IN THE WORK AREA IS THE RESPONSIBILITY OF THE
- 9.5. CONTRACTOR SHALL PRESSURE CLEAN ALL SURFACES FREE OF BIRD EXCREMENTS PRIOR TO STARTING ALL
- 10. WOOD TIMBER SPECIFICATIONS:
- 10.1. ALL STRINGERS SHALL BE ROUGH CUT 4IN. X 10IN. AT A MAXIMUM 24IN. ON CENTER SPACING AND CONNECTED TO THE STAINLESS STEEL ANGLE BRACKETS WITH A SINGLE 3/4IN. STAINLESS STEEL BOLT WHERE APPLICABLE.
- 10.2. ALL WOOD FRAMING MEMBERS SHALL FULL WIDTH LUMBER (NOT S4S) BE 0.60PCF CCA TREATMENTS, GRADE NO.1 SOUTHERN YELLOW PINE.
- DECKING SHALL BE FASTENED WITH 2 STAINLESS STEEL SCREWS PER BOARD ABOVE EACH STRINGER WITH A MINIMUM 2IN. PENETRATION INTO STRINGERS.
- 10.4. BASE BID SHALL INCLUDE 5/4IN. X 6IN. IPE HARDWOOD, SPACED 1/8IN. (#6 NAIL) ATTACHED WITH APPROVED COUNTERSUNK STAINLESS STEEL SCREWS WITH A MINIMUM 2IN. PENETRATION INTO STRINGERS. ALL EXPOSED IPE WOOD CUTS TO BE SEALED. CONTRACTOR TO SUPPLY SEAL FOR APPROVAL PRIOR TO APPLICATION.
- 10.4.1. OPTIONAL DECKING CONTRACTOR SHALL PROVIDE A PRICE IN THE OPTIONS SCHEDULE OF VALUES TO REPLACE THE BASE BID IPE DECKING WITH 2IN. BY 6IN. IPE HARDWOOD INCLUDING A TRANSITION BOARD BETWEEN THE EXISTING 5/4IN. DECKING AND THE NEW 2IN DECKING AT THE CONCESSION AREA. FASTENERS SHALL BE STEPPED UP ONE SIZE TO ACCOUNT FOR THE REDUCED PENETRATION.
- 10.5. ALL IPE LUMBER SHALL BE GRADE A AND CONTRACTOR SHALL WORK WITH ENGINEER TO FIELD ASSESS LUMBER FOR DEFECTS AND RETURN ANY REJECTED LUMBER.
- ALL DECKING ON MAIN PIER RUN SHALL BE INSTALLED WITH FULL LENGTH DECK BOARDS, NO IOINTS. IOINTS ARE PERMISSIBLE AT THE PAVILION AREA DECKING REPLACEMENT ONLY.
- ALL DECKING MATERIALS SHALL BE SPACED AS INDICATED IN NOTES WITH FINAL SPACING APPROVAL BY PROJECT ENGINEER.
- ALL DECKING AND RAIL SHALL BE RASPED OR SANDED TO FINISH THE EDGES.
- CONTRACTOR SHALL REPLACE 7 NEW DECK BOARDS OVER EVERY CONCRETE BENT WITHIN THE 10.9. WORK AREA. FOR BENTS THAT REOUIRE MORE THAN 7 NEW BOARDS CONTRACTOR SHALL USE THE UNDAMAGED EXISTING DECKING.
- 10.10. ALL UNDAMAGED DECK BOARDS THAT ARE REMOVED OVER THE BENTS OR REPLACED STRINGERS SHALL BE NEATLY BUNDLED AND SAVED FOR THE CITY.
- 11. STAINLESS STEEL FASTENER AND BRACKET SPECIFICATIONS
- ALL STAINLESS FASTENER STEEL BOLTS / ATTACHMENTS INTO DECKING, RAILING OR CONCRETE SHALL BE #316 GRADE STAINLESS STEEL. STAINLESS FASTENERS BELOW DECK MAY BE #304/305 STAINLESS STEEL.
- NO SUBSTITUTION TO STAINLESS STEEL WILL BE PERMITTED.
- ALL NEW BRACKETS SHALL BE CONSTRUCTED OUT OF #304/305 STAINLESS STEEL AND SHOP DRAWING FROM THE MANUFACTURE SHALL BE PROVIDED TO THE ENGINEER FOR APPROVAL PRIOR TO
- 11.4. ALL DECK FASTENERS INSTALLED IN THE NEW IPE DECKING OVER THE EXISTING CONCRETE BENTS SHALL BE NO. 12 BUGLE HEAD #316 STAINLESS STEEL DECK SCREWS PRE-DRILLED AND COUNTER SUNK BY HAND. NO SELF-DRILLING / SELF-COUNTERSINKING SCREWS WILL BE PERMITTED IN THESE AREAS. THESE SCREWS MAY HAVE TO BE REMOVED DURING FUTURE POST STORM INSPECTIONS OF THE PIER AND THEREFORE NEED TO BE REMOVABLE BY CONVENTIONAL METHODS.
- 11.5. SELF-DRILLING / SELF-COUNTERSINKING SCREWS DESIGNED FOR IPE HARDWOODS MAY BE USED ON ALL OTHER AREAS OF DECKING AND SHALL BE #316 STAINLESS STEEL.
- 11.6. ANY ATTACHMENTS INTO CONCRETE WILL BE WITH HILTI HY 150 ADHESIVE EPOXY OR EQUAL WITH PROPER DRILL SIZES AND DEPTHS PER MANUFACTURER SPECIFICATIONS.

- 12.1. RAILING SHALL BE PER PLANS AND SPECIFICATIONS AND MATCH THE EXISTING RAIL INSTALLED ONSITE.
- 12.2. RAIL POSTS SHALL BE 4IN. X 4IN. S4S IPE RAIL POSTS.
- MID AND TOP HORIZONTAL RAILS SHALL BE 2IN. X 4IN. S4S IPE WITH SHIP LAP JOINTS OVER THE RAIL POSTS WHERE APPLICABLE.
- TOP ANGLED RAIL SHALL BE 5/4" X 6IN. S4S IPE WITH IPE CLEATS INSTALLED BETWEEN RAIL POSTS.
- CONTRACTOR WILL NEED TO REMOVE AND REPLACE RAILING IN AREAS WHERE AN OUTSIDE STRINGER IS BEING REPLACED.
- 13. GROUT PAD SPECIFICATIONS
- 13.1. CONTRACTOR SHALL POUR GROUT PADS WHERE INDICATED IN THE PLAN SET TO ELIMINATE THE NEED OF THE IPE SHIMS USED DURING PREVIOUS CONSTRUCTION.
- 13.2. GROUT SHALL BE CHOCKFAST URETHANE OR EPOXY GROUT. CONTRACTOR SHALL SUBMIT GROUT FOR APPROVAL PRIOR TO COMMENCEMENT.
- 14.1. CONTRACTOR SHALL INSTALL NEW FURRING STRIPS AND HARDIBOARD ARTISAN SMOOTH LAP SIDING WHERE INDICATED IN PLAN SET.
- 14.2. A NEW WATERPROOFING BARRIER SHALL BE USED WHERE DAMAGED ON THE CONCESSION BUILDING.
- 14.3. SIDING SHALL BE PAINTED TO MATCH EXISTING BUILDINGS.
- 15. UTILITY TESTING:
- 15.1. WITHIN 30 DAYS OF CONTRACT SIGNING CONTRACTOR SHALL CONDUCT TESTING OF THE ELECTRICAL, WATER AND STANDPIPE SYSTEM WITHIN THE WORK AREA.
- THE ELECTRICAL SYSTEM SHALL BE TESTED FOR ANY VIOLATION TO THE WIRE SHIELDING THROUGH MEGGER TESTING OR APPROVED EQUIVALENT. ALL LIGHTING SHALL BE VERIFIED TO BE WORKING. ALL ELECTRICAL OUTLETS SHALL BE TESTED UNDER LOAD, VOLTAGE LOSS, AND CURRENT LEAKAGE AND FOR CORRECT WIRING.
- 15.3. A PRICE SHALL BE PROVIDED TO RESTORE THE ELECTRICAL CONDUIT TO OPERABLE CONDITIONS ALONG WITH REPAIRING ANY DISCOVERED DEFICIENCIES.
- 15.4. WATER PIPES SHALL BE PRESSURE TESTED FOR LEAKS, IF LEAKS ARE FOUND CONTRACTOR SHALL IDENTIFY THEM FOR REPAIR.
- 15.5. A PRICE SHALL BE PROVIDED TO RESTORE THE WATER SERVICE TO OPERABLE CONDITIONS ALONG WITH REPAIRING ANY DISCOVERED DEFICIENCIES.
- 15.6. THE DRY STANDPIPE SYSTEM SHALL BE PRESSURE TESTED FOR LEAKS, IF LEAKS ARE FOUND CONTRACTOR SHALL IDENTIFY THEM FOR REPAIR.
- 15.7. A PRICE SHALL BE PROVIDED TO RESTORE THE FIRE SUPPRESSION SYSTEM TO OPERABLE CONDITIONS ALONG WITH REPAIRING ANY DISCOVERED DEFICIENCIES.
- 16.1. A BOUNDARY SURVEY WITH BENCHMARKS SHALL BE PROVIDED BY THE PERMITTEE/OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR A POST CONSTRUCTION SURVEY AND INCLUDE THE COST IN THE
- 16.2. CONTRACTOR SHALL PROVIDE 4 COPIES OF THE ASBUILT SURVEY TO OWNER AND A CAD FILE GEOREFERENCED IN FLORIDA SOUTH STATE PLANE COORDINATES.
- ASBUILT SURVEY SHALL INDICATE ALL WORK COMPLETED BY THE CONTRACTOR.

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JAMES B. EVETTS, P.E. REGISTERED PROFESSIONAL ENGINEE LICENSE NO. 37261 TURRELL CERTIFICATE OF AUTHORIZATION NO. 5875

	THA Repair Schedule
Replace Stringer	Remove and discard existing, replace with like for like
Remove Inside bolt	Remove and discard existing inside bolt of splice board on both sides of butt joint
Remove splice board	Remove and discard existing splice board not between the bracket and stringer
Replace IPE Deck	Remove and discard existing, replace with like for like

X	Complete action at bent
Y	Complete action between bents

Bent	Stringer	Replace Stringer	Remove Inside bolt	Remove splice board	Other	Sheet
	TOTAL	27	216	12		
38	N. Fascia				Replace Rail & 1 Deck Board	
	S. Fascia					
	-8					
	-7					_
	-6 -5					_
	-4					-
	-3					7
	-2					
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39	1		XY	v	Replace 7 Pier Width Deck Boards	_
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	4		X	X		\dashv
	5		X	X		
	6		XY			
40	1		XY		Replace 7 Pier Width Deck Boards	
	2		X	X		4
	3 4		X	X		4
	5		X	X		
	6		XY	1		
41	1		XY		Replace 7 Pier Width Deck Boards	
	2		Х	Х		
	3		Х	Х		
	4		X	X		4
	5 6		X	Х		4
42	1		XY		Replace 7 Pier Width Deck Boards	
	2		X		replace / Fier / Faux Deex Boards	_
	3		Х			
	4		X			
	5		X			_
43	6		XY XY		Panlaca 7 Dian Width Dock Roands	_
43	2		X		Replace 7 Pier Width Deck Boards	\dashv
	3		X			\dashv
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	6		XY			
44	1		XY		Replace 7 Pier Width Deck Boards	_
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45	1	Х	XY		Replace 7 Pier Width Deck Boards	_
	2		X			_
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	6		XY			\dashv
46	1		XY		Replace 29 Pier Width Deck Boards	7
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	3	Х	Х			
	4	X	X			
	5	Х	X XY			\dashv
47	6		XY		Replace 7 Pier Width Deck Boards	\dashv
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	6		XY			_
48	1		XY		Replace 7 Pier Width Deck Boards	_
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	3	X	X			-
	5	X X	X	-		\dashv
	6	^	XY	-		-
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XY

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Bent	Stringer	Replace Stringer	Remove Inside bolt	Remove Other	Shee
49	1		XY	Replace 7 Pier Width Deck Boards	- Jilet
	2		X		
	3 4	1	X		
	5		X		
	6		XY		
50	1	V	XY	Replace 29 Pier Width Deck Boards	
	3	X	X		
	$\frac{3}{4}$	X	X		
	5	X	Х		
=-	6	X	XY		
51	$\frac{1}{2}$		XY X	Replace 7 Pier Width Deck Boards	
	3		X		
	4		Х		
	5		X		
52	6 1		XY XY	Replace 7 Pier Width Deck Boards	
32	2		X	Replace / Fel Widdi Deck Doulds	
	3		Х		C10
	4		X		
	5 6		X		
53	1		XY	Replace 7 Pier Width Deck Boards	
	2		Х	1	
	3		X		
	<u>4</u> 5		X		
	5 6		X		—
54	1		XY	Replace 7 Pier Width Deck Boards	
	2		X		
	3 4		X		
	<u>4</u> 5		X		——
	6		XY		
55	1		XY	Replace 7 Pier Width Deck Boards	
	2		X		
	3 4		X		
	5		X		
	6		XY		
56	1		XY	Replace 7 Pier Width Deck Boards	
	3		X		
	$\frac{3}{4}$		X		
	5		Х		
	6		XY	D 1	
57	2		XY X	Replace 7 Pier Width Deck Boards	
	3		X		
	4		Х		
	5		X		
58	6 1		XY XY	Replace 7 Pier Width Deck Boards	
30	2		X	Replace / Fiel Widdi Deck Boards	
	3		Х		
	4		X		
	5 6		X XY		
59	1		XY	Replace 7 Pier Width Deck Boards	
	2		Х		
	3		X		C10
	<u>4</u> 5		X		
	6		XY		
60	1		XY	Replace 7 Pier Width Deck Boards	
	3		X		
	4		X		——
	5		Χ		
	6		XY		
61	1 2		XY	Replace 7 Pier Width Deck Boards	
	3		X		
	4		Х		
	5		Х		
62	6		XY	Donlors 20 Discussivity D. 1 D. 1	
62	1 2	X	XY X	Replace 29 Pier Width Deck Boards	
	3	X	X		
	4	X	Х		
	5		X		
63	6 1		XY XY	Replace 7 Pier Width Deck Boards	
00	2		Х	replace / 1 iei with Deck Dodfus	
	3		Х		
	4		X		
	5		X		
64	6		XY XY	Replace 7 Pier Width Deck Boards	
	2		X	replace / 1 let with Deck Dodfus	—
	3		Х		C10
		1	X		
	4	+			
	5		Х		
65				Replace 7 Pier Width Deck Boards	
	5 6		X XY	Replace 7 Pier Width Deck Boards	

X XY

Lo	cation		Τ_	T _	1	
Bent	Stringer	Replace Stringer	Remove Inside bolt	Remove splice board	Other	She
66	N. Fascia	X			Replace 3 Pier Width Deck Boards	
	S. Fascia	Х			Replace 4 Pavilion Width Deck Boards	
	-8				Replace Corner Bracket, Re-level concrete	
	-7					
	-6					
	-5				Replace Perimeter Bracket	
	-4					
	-3					
	-2				Replace Perimeter Bracket	
	-1					
	1				Replace Corner Bracket	
	2					
	3					
	4					
	5					
	6					
	7				Replace Corner Bracket	
	8				Replace Corner Diacket	
	9				Replace Perimeter Bracket	
	10				Neplace Letimeter bracket	
	11					
					Dania a Danimatan Dua alat	
	12				Replace Perimeter Bracket	
	13	V			D 1 C D 1 1	
4 5	14	X			Replace Corner Bracket, Re-level concrete	
67	-8				Replace 7 Pavilion Width Deck Boards	
	-7					
	-6 -					
	-5					
	-4					
	-3					
	-2					
	-1					
	1					
	2					
	3					
	4					
	5					
	6					
	7					
	8					
	9					
	10					
	11					
	12					
	13					
	14					
68	-8				Replace 7 Pavilion Width Deck Boards	C1
	-7				1	
	-6					
	-5					
	-4					
	-3					
	-2					
	-1					
	1					
	2					
	3					
	4					
	5 6					
	7					
	8	V			Poplace 29 Courth and D. 1 P. 1	
	9	X			Replace 28 Southernmost Deck Boards	
	10	X				
	11	X				
	12	X				
	13					
	14					
69	N. Fascia	X			Replace 4 Pavilion Width Deck Boards	
	mid Fascia	X				
	S. Fascia	Х				
	-8				Replace Corner Bracket, Re-level concrete	
	-7					
				1		
	-6					
	-6 -5				Replace Perimeter Bracket	
	-6 -5 -4				Replace Perimeter Bracket	
	-6 -5 -4 -3					
	-6 -5 -4				Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3					
	-6 -5 -4 -3 -2				Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1					
	-6 -5 -4 -3 -2 -1 1				Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2				Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4				Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5				Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5				Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5 6				Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5 6 7				Replace Perimeter Bracket Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5 6 7 8				Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5 6 7 8 9				Replace Perimeter Bracket Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5 6 7 8 9 10 11				Replace Perimeter Bracket Replace Perimeter Bracket Replace Perimeter Bracket Replace Perimeter Bracket	
	-6 -5 -4 -3 -2 -1 1 2 3 4 5 6 7 8 9				Replace Perimeter Bracket Replace Perimeter Bracket Replace Perimeter Bracket	

BID SET

NAPLES PIER SCHFDLIF TABLES

Existing Structures

Engineering, Inc.

"www.aistingstructures.com

EXISTING STRUCTURES

ENGINEERING INC.

102 Columbia Dr. Ste 105

Cape Canaveral, FL 32920

Phone: (321) 784-5811

TURRELL, HALL & ASSOCIATES, INC.
Marine & Environmental Consulting
3584 Exchange Ave. Suite B,
Naples, Fl. 34104-3732
Phone: (239) 643-0166
Fay: (239) 643-6632

CHANGED:	1	-	-	-	-	-	-	-	-	-	
DATE:	-	-	-	-	-	-	-	-	-	-	
REVISED BY:	-	-	-	-	-	-	-	-	-	-	
		T									

PROJECT: 1550.1 SHEET:

DATE: 02-15-18

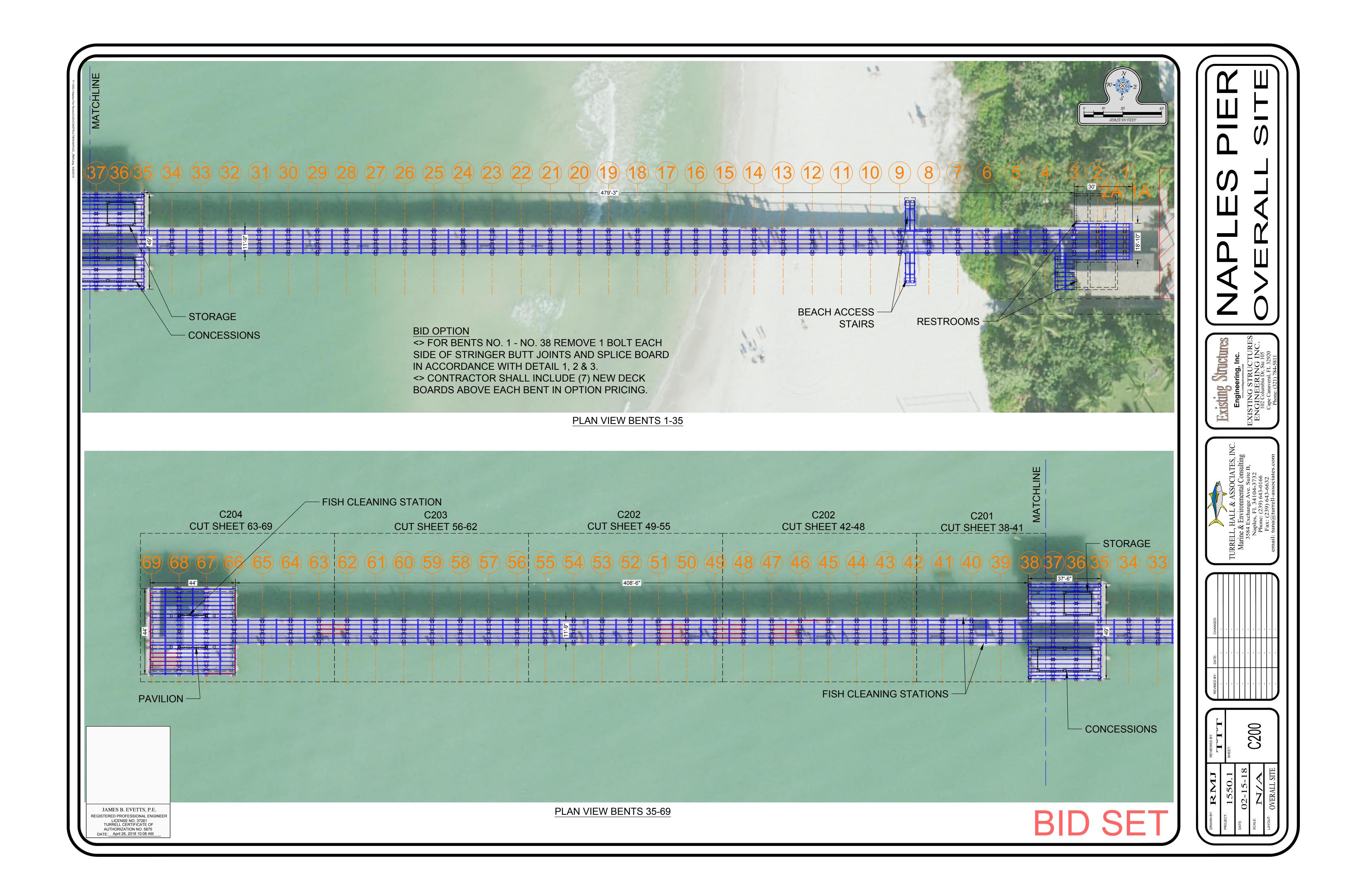
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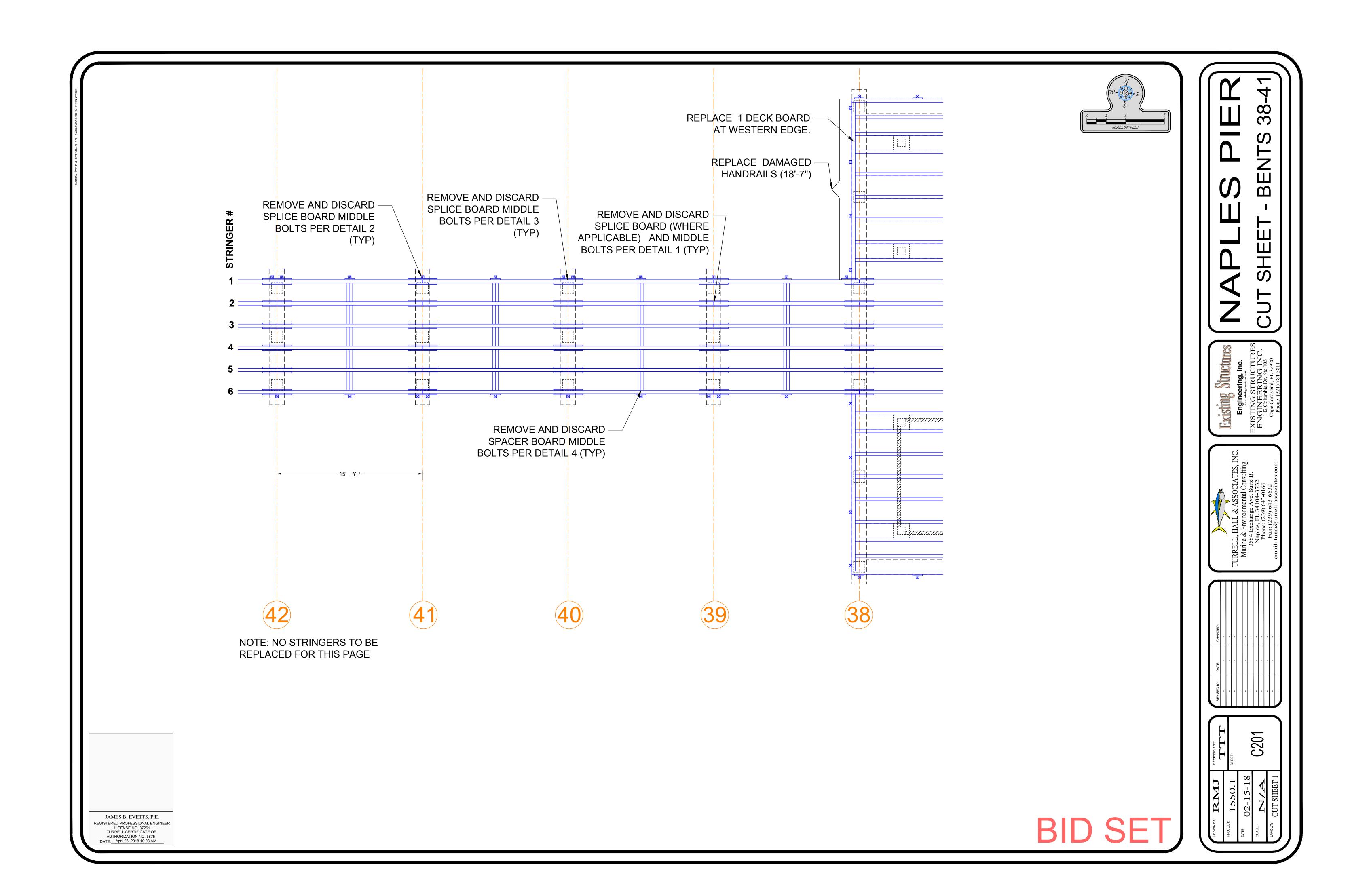
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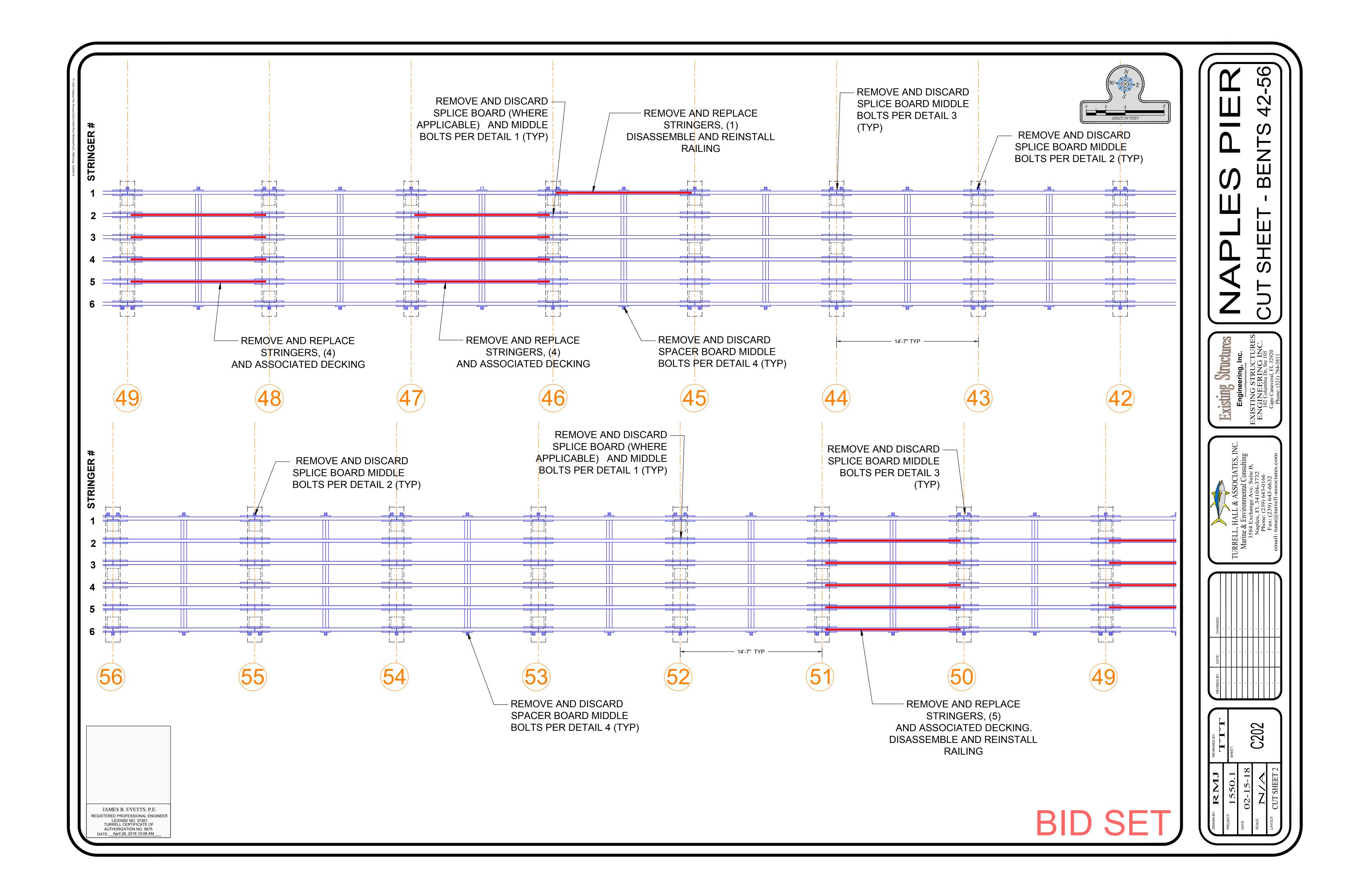
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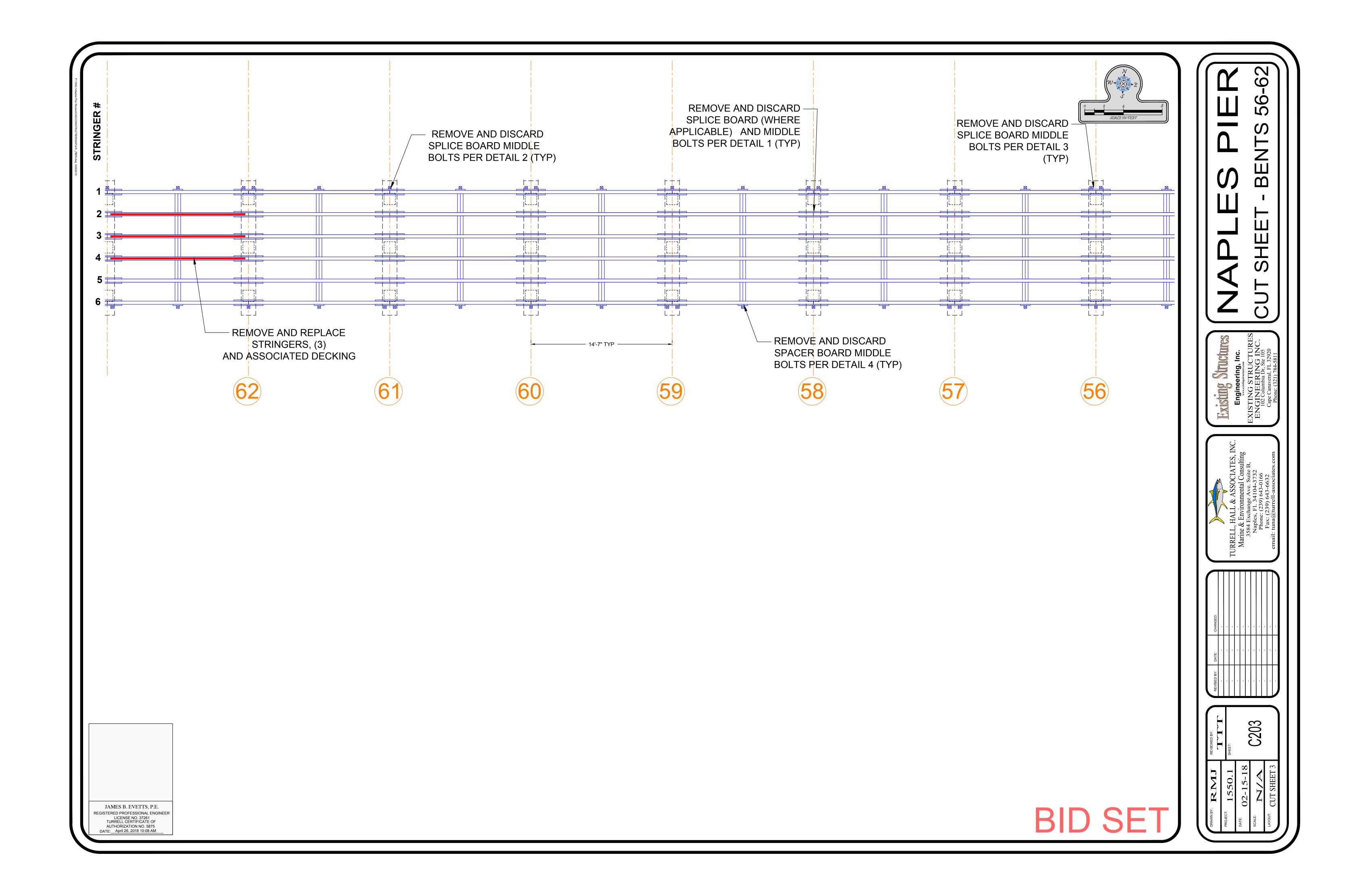
JAMES B. EVETTS, P.E.
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 37261
TURRELL CERTIFICATE OF
AUTHORIZATION NO. 5875
DATE: April 26, 2018 10:07 AM

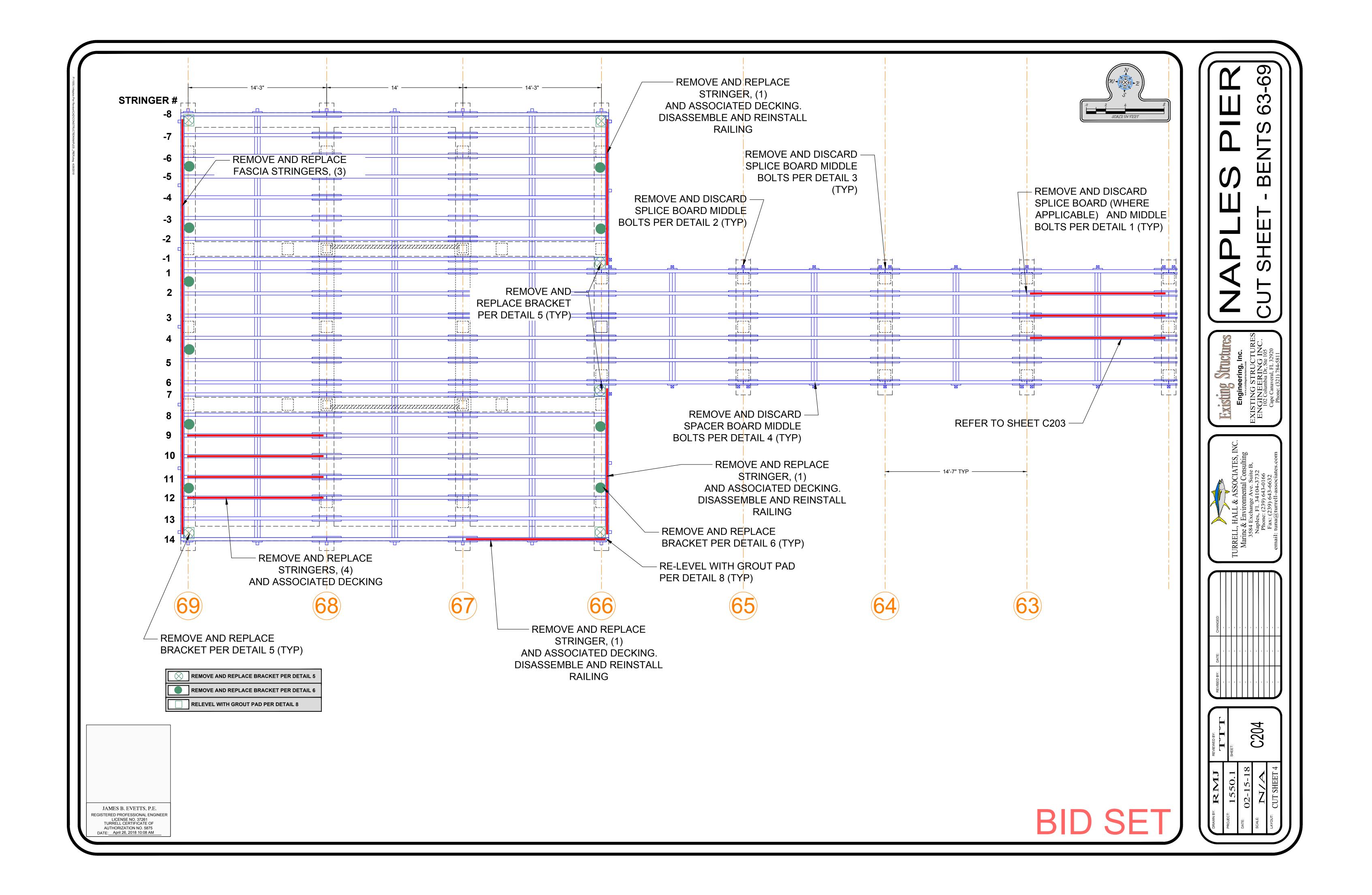


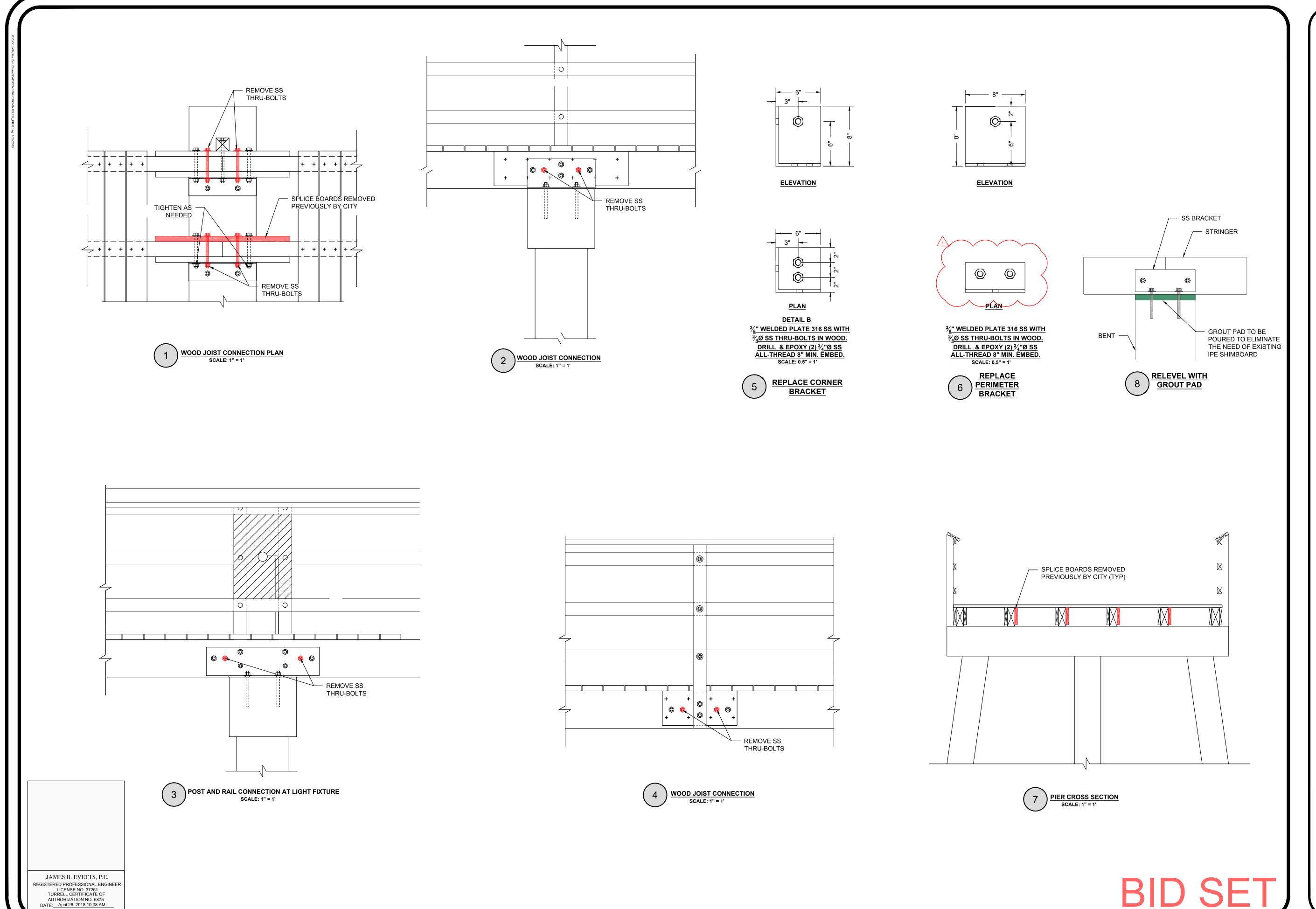




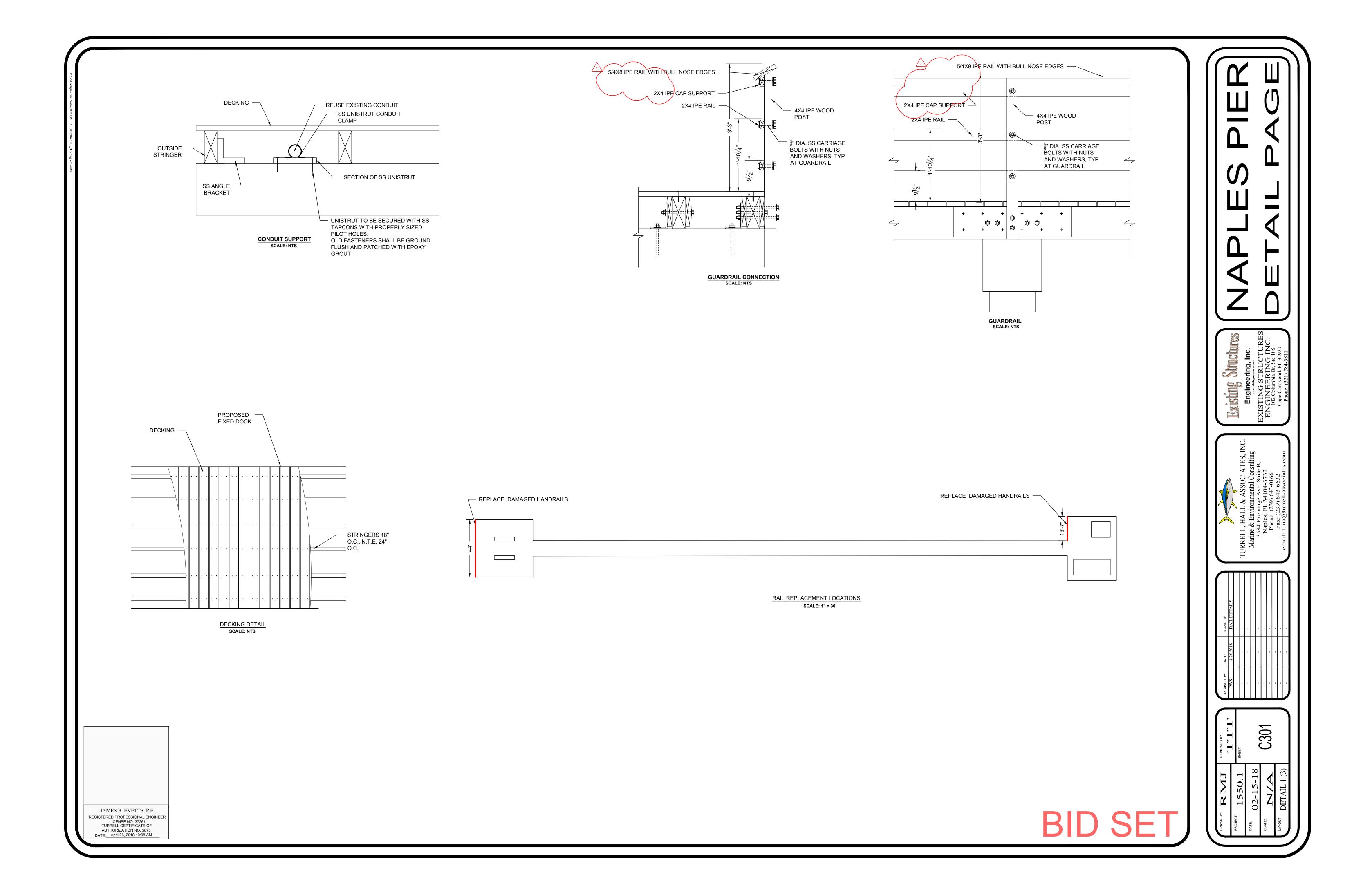


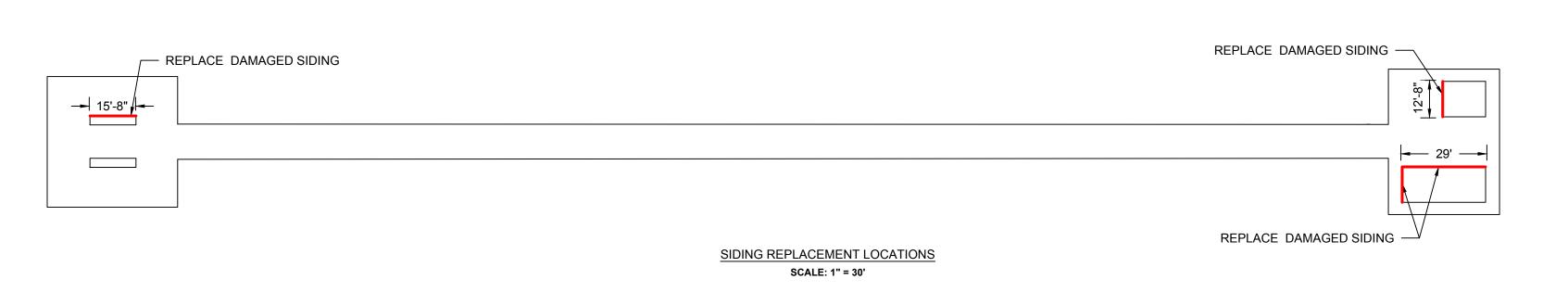


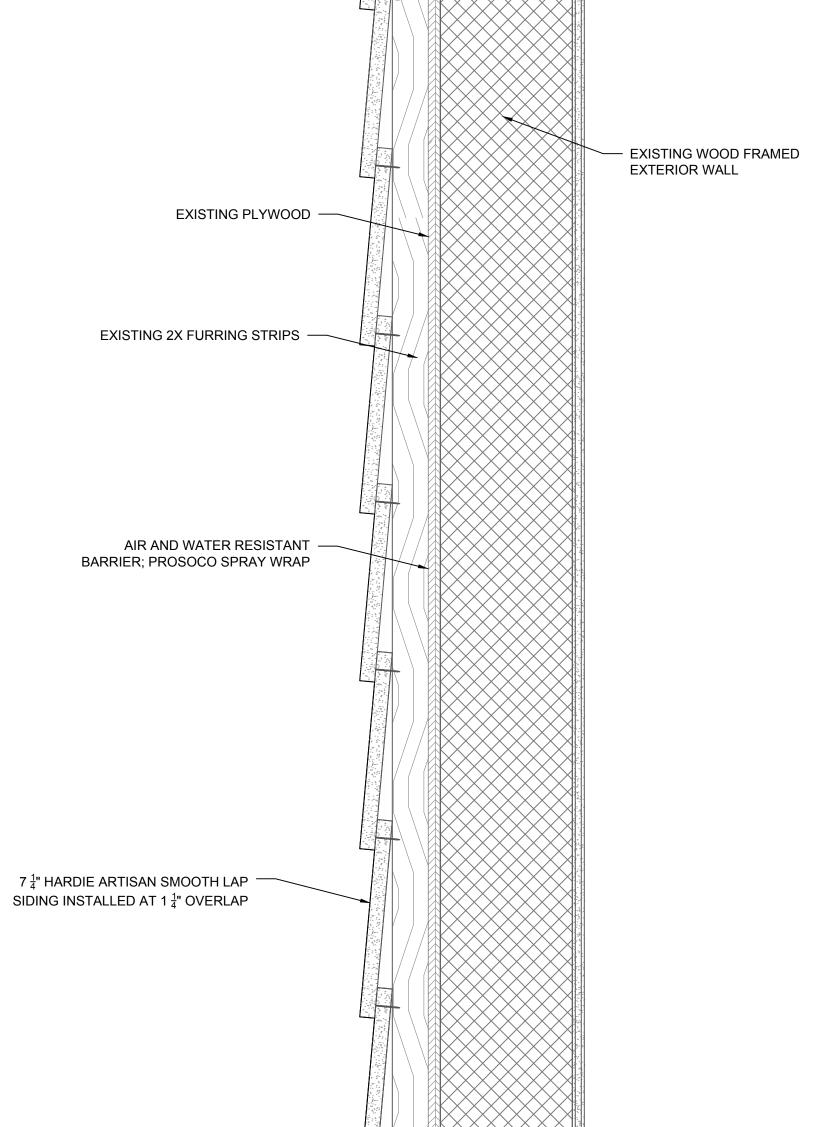




EXISTING STRUCTURES
ENGINEERING INC.
102 Columbia Dr., Ste 105
Cabe Canaveral, FL 32920 Structures ering, Inc. Existing Enginee

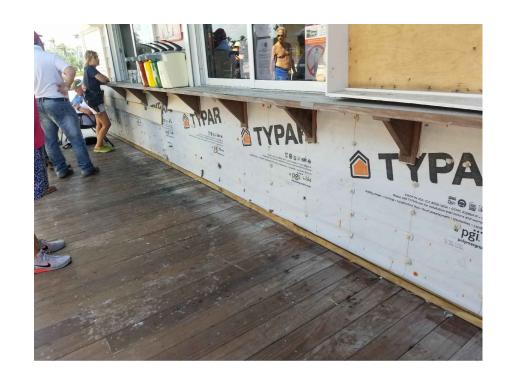


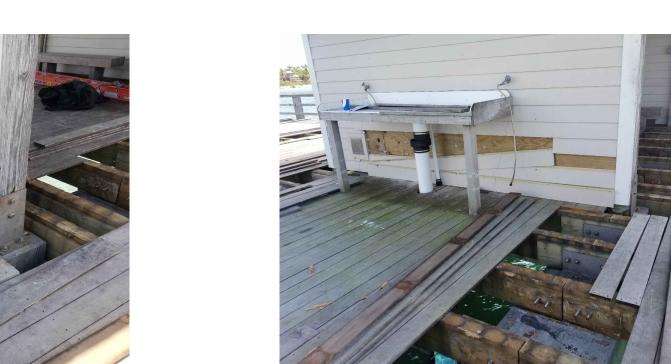


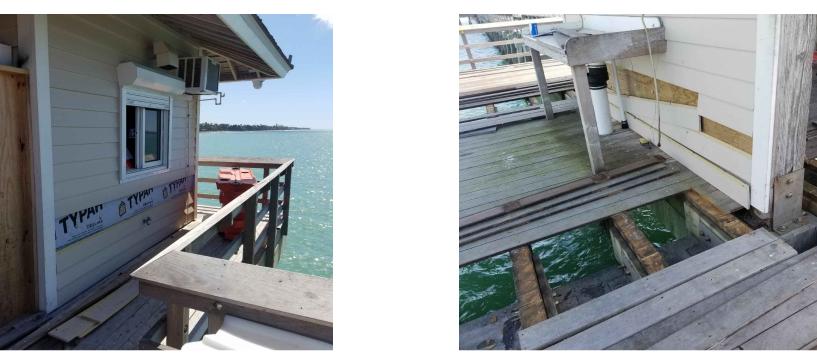


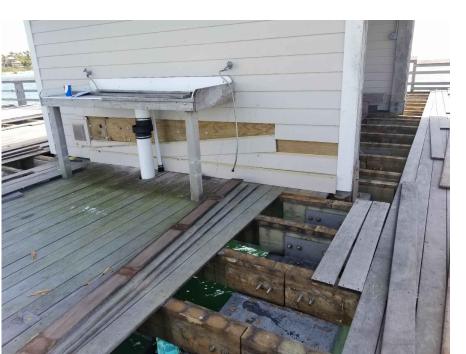
WALL SIDING REPAIR DETAIL SCALE: 1" = 4'











JAMES B. EVETTS, P.E. REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 37261
TURRELL CERTIFICATE OF
AUTHORIZATION NO. 5875
DATE: April 26, 2018 10:08 AM

City of Naples

SIGN-IN
Naples Pier Restoration
BID NO. 18-017

NON-MANDATORY PRE-BID CONFERENCE April 24, 2018 AT 10:00 A.M. LOCAL TIME Naples Pier 25 12th Avenue South, Naples FL 34102

Page 1 of 2

NAME JOE STANTON
COMPANY Shoreline Foundation Inc
TELEPHONE 954 985 0460
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COMPANY Zep CONSTRUCTION
TELEPHONE 239- 229- 3823
E-MAIL ZEPCON@ aol. com
NAME Dane Kelly
COMPANY_Kelly Brothers, Inc.
TELEPHONE 239 482 7300
E-MAIL <u>Estimating</u> @ kelly bros. net

City of Naples

SIGN-IN

Naples Pier Restoration BID NO. 18-017

NON-MANDATORY PRE-BID CONFERENCE April 24, 2018 AT 10:00 A.M. LOCAL TIME Naples Pier 25 12th Avenue South, Naples FL 34102

Page Zof Z NAME Patrick Scheele COMPANY Turrell Hall + Associates TELEPHONE 239 - 643-0166 E-MAIL Patrick & THAnaples. com lodd Turre 1 COMPANY TELEPHONE E-MAIL